

BOARD OF VARIANCE MEETING

Tuesday, February 25, 2025
7:00 p.m.

Council Chambers
3000 Guildford Way
Coquitlam, B.C.

Note: This meeting will be broadcast online at coquitlam.ca/webcasts.

CALL TO ORDER

ADOPTION OF MINUTES

- Minutes of the Board of Variance Meeting held on Tuesday, November 26, 2024**
Staff Recommendation:
That the Minutes of the Board of Variance Meeting held on Tuesday, November 26, 2024 be approved.

APPLICATIONS

- Owner/Applicant: Chia Ching Wang & Connie Wu/ Westgate Homes Ltd. (Inderjit Khangura) – 3717 Lincoln Avenue**

The application requests the following variance to the *City of Coquitlam Zoning Bylaw No. 3000, 1996*:

- Relaxation of the building height from 11.0m to 14.23m (variance of 3.23m).

The variance would allow the increase in grade to meet flood plain requirements for the construction of the principal dwelling.

NEXT MEETING DATE – March 25, 2025

ADJOURNMENT

BOARD OF VARIANCE
Tuesday, November 26, 2024

A Regular Meeting of the Board of Variance convened on Tuesday, November 26, 2024 at 7:00 p.m. in the Council Chambers, City Hall, 3000 Guildford Way, Coquitlam, B.C. with the following persons present:

BOARD MEMBERS: Bill Boons, Chair
Nic Dominelli, Vice Chair
Nancy Chan
Gurjinder Manhas
Eno Muho

STAFF: Jim Bontempo, Building Permits Manager, Approvals
Elizabeth Murphy, Legislative Services Coordinator, Secretary to the Board

ITEM #1 - Minutes of the Board of Variance Meeting held on Wednesday, July 23, 2024

MOVED BY N. DOMINELLI
AND SECONDED BY G. MANHAS

The Minutes of the Board of Variance Meeting held on Wednesday, July 23, 2024 were approved.

CARRIED UNANIMOUSLY

ITEM #2 - Ben Brunton
ADDRESS: 432 Balfour Drive
SUBJECT: Relaxation of the minimum required setback from the interior side lot line from 1.2 metres to 0.58 metres, and; Relaxation of the minimum required siting exception from the interior side lot line for eaves from 0.6 metres to 0.05 metres.

The applicant, Ben Brunton, 432 Balfour Drive, appeared before the Board to request the following variances to *City of Coquitlam Zoning Bylaw No. 3000, 1996* to allow for an existing gazebo to remain in its current location:

- Relaxation of the minimum required setback from the interior side lot line from 1.2 metres to 0.58 metres; and

- Relaxation of the minimum required siting exception from the interior side lot line for eaves from 0.6 metres to 0.05 metres.

The applicant provided the Board with an overview of the application, and noted the following relative to the application:

- Financial hardship would be incurred to demolish and rebuild part of the deck, stairs and concrete pad.
- Usability and enjoyment of the yard would be reduced by relocating the gazebo.
- Relocating the gazebo to an alternate location in the yard would not resolve complaints related to use and noise.
- Modifications to address the noise concerns are welcome.

In response to questions from the Board, the applicant noted the following:

- The interior of the gazebo was changed from a hot tub to a fire pit.
- The inclusion of privacy screens for the gazebo could be considered.
- There would be financial costs associated with relocating the gazebo and the change in location of the gazebo would not affect its use.

The Chair called for speakers.

James and Linda Hamilton, 436 Balfour Drive, appeared before the Board to note several concerns related to noise, smoking, a fire pit, the location of the gazebo, loss of privacy, disturbed sleep due to noise, secondhand smoke, and the inability to open windows or allow fresh air intake. The speakers also noted potential safety concerns related to the fire pit being located in an all-wood gazebo, next to a shared wooden fence, and with plastic tarps held up by nylon cords nearby, and expressed concerns over the safety of the gazebo's location, which may be positioned too close to other structures.

In response to questions from the Board, the Building Permits Manager, Approvals, noted that gas fire pits are permitted on residential properties and that the property has had a 1.2m setback established for all accessory buildings for livability and privacy.

The Chair called for speakers three times. There was no response and no further representation to this item.

There was one submission received in response to the application.

MOVED BY E. MUHO
AND SECONDED BY G. MANHAS

That the variances be approved, as per the application, to:

- Relax the minimum required setback from the interior side lot line from 1.2 metres to 0.58 metres; and
- Relax the minimum required siting exception from the interior side lot line for eaves from 0.6 metres to 0.05 metres.

CARRIED UNANIMOUSLY

CLOSURE OF BOARD OF VARIANCE

The Chair declared the Board of Variance meeting closed at 7:35 p.m.

MINUTES CERTIFIED CORRECT

Bill Boons, Chair

Elizabeth Murphy,
Legislative Services Coordinator,
Secretary to the Board



BOARD OF VARIANCE APPLICATION

City of Coquitlam
Building Permits Division
3000 Guildford Way
Coquitlam, BC V3B 7N2
Tel: 604-927-3441
bovinfo@coquitlam.ca

Date: 12/20/2024

Property Address: 3717 Lincoln avenue, Coquitlam

Legal Description: LOT 48 SECTIONS 5 AND 8 TOWNSHIP 40 NEW WESTMINSTER DISTRICT PLAN 2320

Zoning: RS-2 Date Purchased: 05/16/2022 Fee:

The Board of Variance operates pursuant to the regulations as established by Section 901 of the Local Government Act and Board of Variance Bylaw No. 4030, 2009 (a bylaw that provides for the establishment of a Board of Variance). Please make your application in person at the Building Division's Front Counter located on the main floor of City Hall.

Checklist Included? [x] Yes [] No Invoice To: [] Owner [x] Agent
Note: the Checklist must accompany this application

PLEASE READ CAREFULLY AND FILL OUT ACCURATELY

- Is the owner aware of the application? [x] Yes [] No
If appointing a representative, has the Agent Authorization section been completed? [x] Yes [] No
Are digital copies of the required documents included? [x] Yes [] No
Are the easements, covenants and/or rights-of-way affecting the property included? [] Yes [x] No
Is the property adjacent to a ravine/slope or a stream/creek? [] Yes [x] No
Describe any steep slopes, watercourses, trees, or significant environmental features on or near the site.

Owner(s) of Property

Table with 4 columns: Owner, Address, Phone Number, Email. Rows for Chia Ching Wang and Connie Wu.

Project Description (Please detail the proposed construction project)

The land is a 6.2 acre parcel of land that fronts lincoln ave and backs onto Deboville Slough
The owner is building a new home with a barn for future agricultural uses
Currently zoned RS-2 in the ALR

Variance Requested (Example: front yard setback from required 7.6 metres to 7.0 metres)

We are requesting a height variance of 2.4m above allowable limit of 11m. Currently the existing grade is at 2.08m at the lowest point with an average existing grade of 2.10m. After the building site is brought up with compacted fill (as required for construction in the area) the average finished grade is 4.36m. With the construction of a new 2 level home with a 12-12 slope on a peaked roof the Roof ridge will be 11m from the average finished grade. However when calculated for the lower point of the existing grade the height is 13.31m.

Nature of Undue Hardship (Please detail the reason for your application – attach a separate sheet if required)

The hardship is the limiting factor of the height when compared to the existing grade. Given the flood construction level of the area we are required to bring the elevation up to 4.36m average finished grade with our main floor elevation of 5.88m above the crawl space to again accommodate for flood protection. Coupled with a steep slope roof of 12-12 pitch consistent with a craftsman style farm house (to allow for efficient snow and rain shedding) this puts the overall height of the home to the top of the roof ridge at 15.46m. Which exceeds the maximum allowable height of 11m. Thus restricting the design to a single story home which would also limit the size and not be conducive of having enough space to raise a family to help contribute to the farm operations and allow for generational living under the same roof. To allow for a typical 2 story home with proper slope for rain and snow shedding as well as bringing the elevation up to protect from flooding and ensuring a solid construction base, we are requiring a variance to mitigate this hardship. The intent of the bylaw is to prevent tall homes from being beside each other and being out of place in the neighbourhood. In this instance, the property line is about 100 feet from the front of the house and 115 feet from the East property line and 121 feet from the west property line. As well with the area being in the ALR the Farm barns can be built much closer to the property line and not restricted by the same height requirements. The bylaw restriction meets its objective for regular city lots, but in this instance with 6.2 acres the neighbours are further away and an increase in overall height won't be distinguishable or intrusive to the area or neigh

BOV for 3717 Lincoln Ave main building height variance

We are **requesting a height variance** of 2.4m above allowable limit of 11m. Currently the existing grade is at 2.08m at the lowest point with an average existing grade of 2.10m. After the building site is brought up with compacted fill (as required for construction in the area) the average finished grade is 4.36m. With the construction of a new 2 level home with a 12-12 peaked roof the Roof ridge will be 11m from the average finished grade. However when calculated for the lower point of the existing grade the height is 13.31m.

The **hardship** is the limiting factor of the height when compared to the existing grade. Given the flood construction level of the area we are required to bring the elevation up to 4.36m average finished grade with our main floor elevation of 5.88m above the crawl space to again accommodate for flood protection. Coupled with a steep slope roof of 12-12 pitch consistent with a craftsman style farm house (to allow for efficient snow and rain shedding) this puts the overall height of the home to the top of the roof ridge at 15.46m from the existing grade, but before the construction fill is brought in.. Which exceeds the maximum allowable height of 11m. Thus restricting the design to a single story home which would also limit the size and not be conducive of having enough space to raise a family to help contribute to the farm operations or allow for generational living under the same roof. To allow for a typical 2 story home with proper slope for rain and snow shedding as well as bringing the elevation up to protect from flooding and ensuring a solid construction base, we are requiring a variance to mitigate this hardship.

The **intent of the bylaw** is to prevent tall homes from being beside each other and being out of place in the neighbourhood. In this instance, the property line is about 100 feet from the front of the house and 115 feet from the east neighbouring property line and 121 feet from the west neighbour's property line. As well with the area being in the ALR the Farm barns can be built much closer to the property line and not restricted by the same height requirements. The bylaw restriction meets its objective for regular city lots, however in this instance with the property being 6.2 acres, the neighbours are much further away and an increase in overall height won't be distinguishable or intrusive to the area or neighbours

CHECKLIST

BOARD OF VARIANCE

Planning and Development Department
Building Permits Division
604 927-3441
bovinfo@coquitlam.ca

RECEIVED

DEC 20 2024

CITY OF COQUITLAM
PLANNING AND DEVELOPMENT DEPT.

Address: 3717 Lincoln Avenue

Zone: RS-2 Date: Dec 20 2024 Fee: _____

This checklist **must** be followed and submitted with your application form. If the application is incomplete, it will affect the processing time of the pending application. City staff will review the checklist and application package. Only complete application packages will be accepted.

CHECKLIST ITEMS:

Forms, Fees and Technical Reports			
DOCUMENT	Copies Required	Details	COMMENTS
Application Form	1	A Board of Variance application form must be completed and signed at the time of submission.	
Agent Authorization Form (If applicable)	1	Where the applicant is not the owner of the property, written permission of the owner for the applicant to act on their behalf is required.	
Application Fee		A non-refundable application is required to be paid when making an application.	
Current Title Search	1	A copy of the current title search from the Land Title Office, including copies of any rights-of-way, restrictive covenants, easements, etc. that are registered on title.	

Drawings Required

In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca

DOCUMENT	Copies Required	Details	COMMENTS
Building Elevations	2 (one full size and one 11 x 17)	<ul style="list-style-type: none">Four (4) elevations, front, rear and sides (indicating direction)Finished grade elevations around the perimeter of the structureFinish details and materials of exterior, including colours for proposed buildings and building additions	

BOARD OF VARIANCE CHECKLIST



Drawings Required

In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca

DOCUMENT	Copies Required	Details	COMMENTS
Certified Survey Plan	1	<ul style="list-style-type: none"> • PID • Legal Description • Street Address, street name(s) and location, location and width of any lane(s) • Dimensions of site area • Location and dimensions of all existing buildings and structures on the site • Front, rear and side yard setbacks from buildings to lot lines • Land dedications, registered easements, encroachments and rights-of-way • Location of existing street crossings • Existing grades at each corner of the lot(s) or spot elevations of the property at one metre intervals 	

Drawings Required

In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca

DOCUMENT	Copies Required	Details	COMMENTS
Site Plan Proposed structures should be labelled "proposed"	2 (one full size and one 11X17)	<ul style="list-style-type: none"> • North arrow • Date plan prepared • Street name(s) adjacent to and fronting the site • Dimensions of the site with property lines • Location and dimensions of all buildings and structures including garages, sheds, gazebos, etc. • Variance request clearly identified and dimensioned • Existing and finished grade elevations • Location of the natural boundary of any existing watercourses or environmental features • Location of existing landscaping 	

BOARD OF VARIANCE CHECKLIST



Drawings Required

In addition to hard copies, please submit digital copies (pdf format) of the following documents on a removable storage device (i.e. memory stick or CD) or email to bovinfo@coquitlam.ca

DOCUMENT	Copies Required	Details	COMMENTS
Floor Plans	2 (one full size and one 11x17)	Dimensioned at a scale not less than 1:100 or 1/8" = 1'0" All storeys, including all outside dimensions of each floor Indicate all room uses and dimensions, including finished/unfinished areas All door, window and skylight locations Clear indication of proposed work for additions to an existing building	

I, the **Applicant**, certify that this application is being made with the full knowledge and consent of all Owner(s) of the property in question.

X INDERJIT KHANGURA
Applicant's Name (please print)

X 
Applicant's Signature

X 
Address

X 
Phone


Email

X Dec 20, 2024
Date

Completed by: _____

Please note, it is the responsibility of the applicant to ensure the plans that are submitted are complete and accurate. Variances will be granted (if approved) based on the plans provided.



Attachment 1

DeBoville Slough Dike Trail A-3

DeBoville Slough A

Traboulay Poco Trail

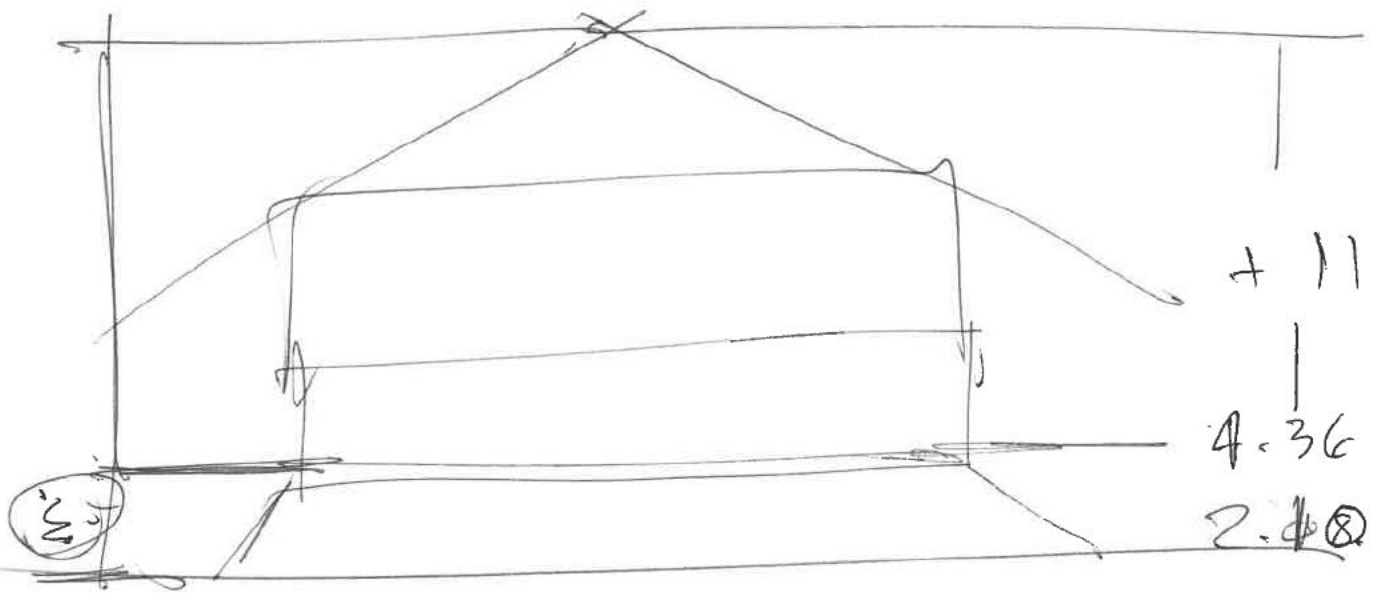
3701

3717

3735

Lincoln Avenue

2.4m.



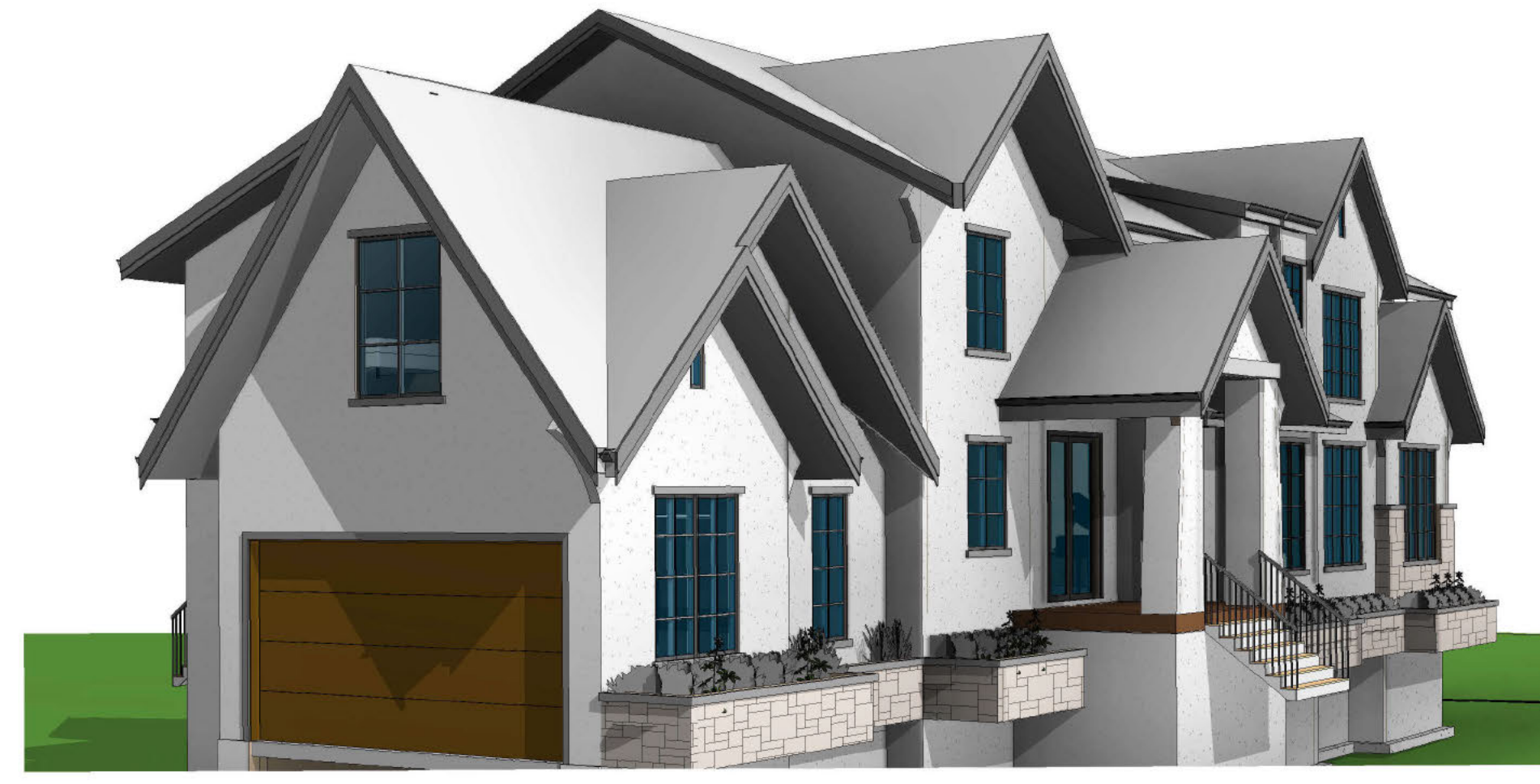
$$\begin{array}{r} 4.32 \\ \underline{2.10} \\ 2.22 \text{ m.} \end{array}$$

15.41

16.52

$$\begin{array}{r} 15.41 \\ - 4.32 \\ \hline 11.09 \end{array}$$





GENERAL NOTES:
 THESE DRAWINGS HAVE BEEN PREPARED BY JOSS DESIGN INC. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2024 AND THE SPAN BOOK 2004 EDITION. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY LAWS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED.

DO NOT SCALE DRAWINGS. JOSS DESIGN INC. WILL NOT BE RESPONSIBLE FOR DEPARTURES FROM AND/OR CHANGE TO THESE PLANS.

STRUCTURAL SPECIFICATIONS
 EXTERIOR WALLS ARE DRAWN 6" THICK ASSUMING 1 1/2" PLYWOOD SHEATHING ON 5 1/2" STUDS. ALL INTERIOR WALLS ARE DRAWN 4" OR 6" THICK FOR 2x4 OR 2x6 STUD WALLS.

DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE OR FACE OF STUDS FOR INT. WALLS AS SHOWN.

ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR PLYWOOD.

APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 13MM ANCHOR BOLTS SPACED AT 1800MM ON CENTER, UNLESS OTHERWISE NOTED.

FLOOR JOISTS SPANNING MORE THAN 2100MM ARE TO BE BRIDGED AT MID SPAN OR AT 2100MM ON CENTRE BY 38x38 DIAGONAL BRIDGING. ALL SUBFLOORS TO BE 15.5MM 1x6 PLYWOOD, GLUED AND NAILED TO THE JOISTS.

WINDOW AND DOOR SIZES ARE APPROXIMATE AND CONTRACTOR SHALL CHECK WITH WINDOW AND DOOR SUPPLIER FOR ACTUAL ROUGH OPENINGS.

ALL LINTELS ARE TO BE 2x38x135 D. FIR NO. 2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 38MM BEARING.)

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

TOP OF EXTERIOR FOUNDATION WALLS TO BE MIN 8" ABOVE FINISHED GRADE.

ALL GUARDRAILS TO BE 42" IN HEIGHT AND 4" VERTICAL SPACING. ALL GUARDRAILS MUST CONFORM TO ALL RELEVANT REQUIREMENT TO SECTION 9.8.8 OF THE B.C.B.C. 2024.

CONTRACTOR MUST VERIFY ALL SERVICE LINES PRIOR TO CONSTRUCTION.

FOOTINGS MUST PENETRATE BELOW FROST LINE AND BE ON SOLID BEARING.

EXPOSED SHEET METAL FLASHING SHALL BE OF GALVANIZED STEEL. CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C. 2024.

INSULATION AND VENTILATION
 ATTIC ROOF SPACE SHALL BE VENTED WITH ROOF TYPE, EAVE TYPE AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOFS CONSTRUCTED WITH ROOF JOISTS SHALL BE VENTED TO A MINIMUM OF 1:150 OF THE INSULATED CEILING AREA.

VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT AND SHALL BE VENTED TO ACCORDING TO SECTION 9.32 OF THE B.C.B.C. 2024.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

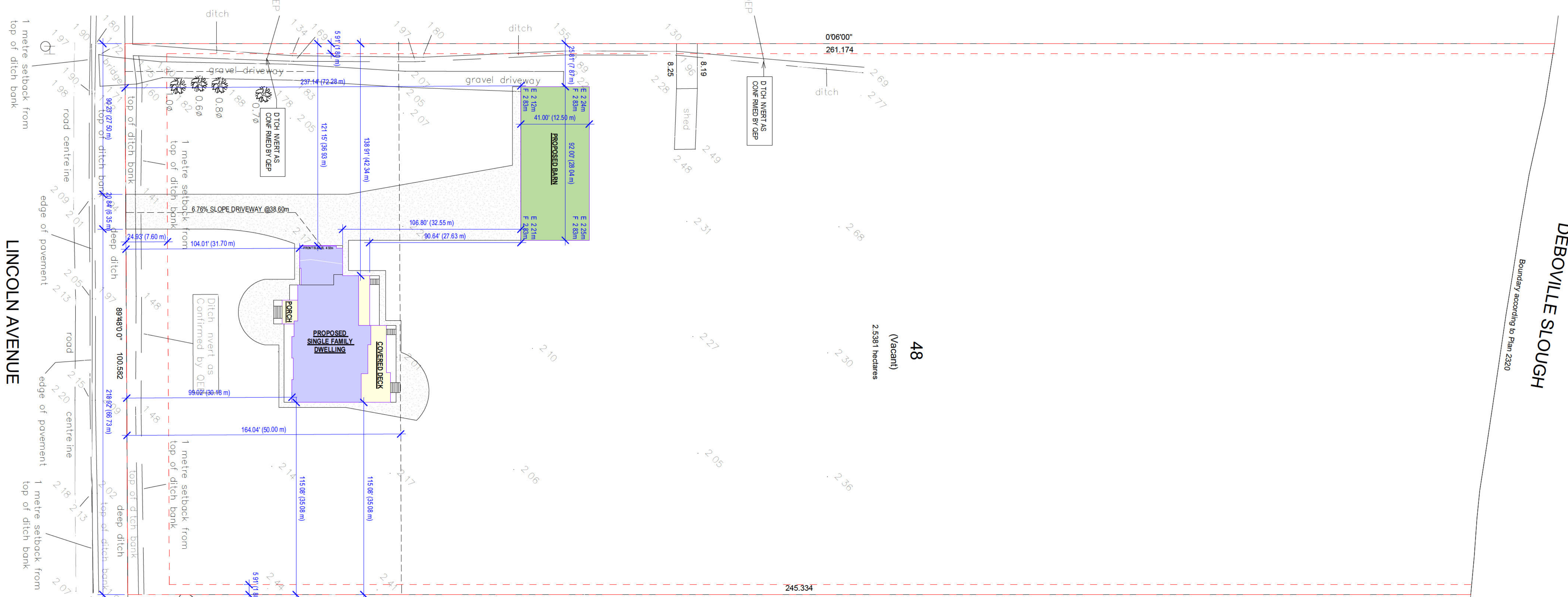
ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 500x700 ACCESS HATCHWAY.

MISCELLANEOUS
 THE INSTALLATION OF PLUMBING, HEATING AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE B.C.B.C. STANDARDS.

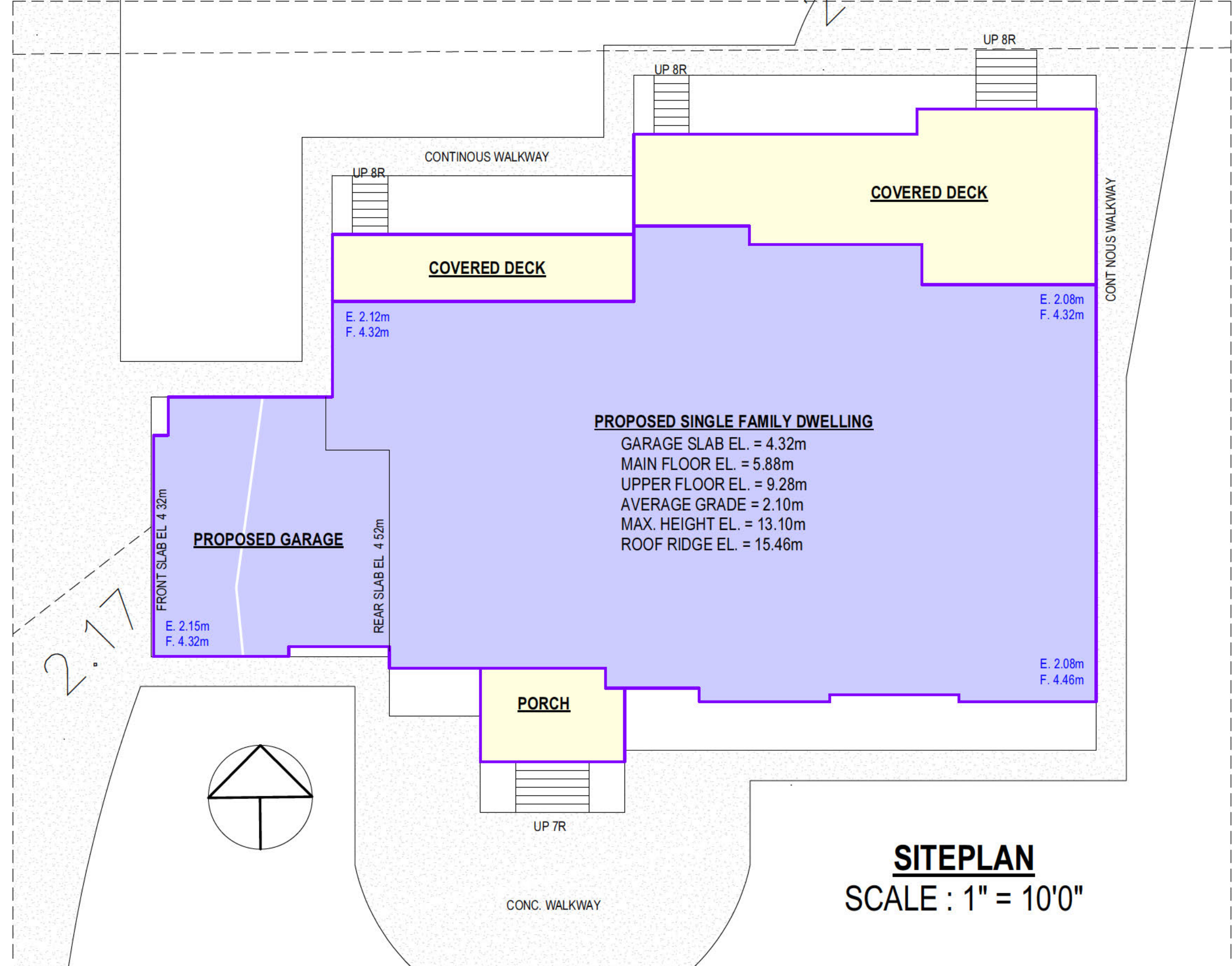
ENGINEERED GLASS IS REQUIRED WHEN USED AS GUARD.

SCOUR PROTECTION PER SUBDIVISION REQUIREMENT. CONTRACTOR'S RESPONSIBILITY TO CHECK WITH GEOTECH ENGINEER.

WINDOW IN STAIRWAY MUST PROVIDE MINIMUM 900 MM BETWEEN SILL AND ADJACENT FLOOR OTHER WISE MUST BE EITHER ENGINEERED OR GUARDED FROM INSIDE.



KEYPLAN
 SCALE : 1/32" = 1'0"



SITEPLAN
 SCALE : 1" = 10'0"

PROPOSED NEW SINGLE DWELLING
 CLIENT: SUNTECH SOLAR SOLUTION

LEGAL DESCRIPTION
 LOT 48, SECTIONS 5 AND 8, TPNWSHIP 40, NWD PLAN 2320
 PID: 012-635-413

CIVIC ADDRESS
 3717 LINCOLN AVENUE, COQUITLAM

ZONING ANALYSIS
 ZONE = RS2
 LOT AREA = 273198.8 SF (25380.99 SM)

SITE COVERAGE

PERMITTED 40% =	109279.52 SF (10152.40 SM)
PROPOSED AREA =	8265.70 SF (417.48 SM)
HOUSE =	4493.70 SF
BARN =	3772.00 SF

FLOOR AREA RATIO

PERMITTED =	5812.51 SF (540.00 SM)
PROPOSED =	5812.51 SF (540.00 SM)
- UPPER FLOOR =	2246.25 SF (208.68 SM)
- MAIN FLOOR =	2976.86 SF (276.56 SM)
- GARAGE =	589.67 SF (54.78 SM)
- INCL'D SECONDARY SUITE AREA =	549.69 SF (51.07 SM)

PROPOSED BUILDING SETBACK

FRONT =	30.38m (MIN. 7.60m)
REAR =	m (MIN. m)
LEFT SIDE =	36.93m (MIN. 1.80m)
RIGHT SIDE =	35.08m (MIN. 1.80m)

DRAWING INDEX

SHEET	DRAWING TITLE
-	3D VIEW
A1	KEY PLAN, SITE PLAN & NOTES
A2	FRONT (SOUTH) ELEVATION
A3	LEFT (WEST) ELEVATION
A4	REAR (NORTH) ELEVATION
A5	RIGHT (EAST) ELEVATION
A6	ROOF PLAN
A7	UPPER FLOOR PLAN
A8	MAIN FLOOR PLAN
A9	FOUNDATION FLOOR PLAN
A10	SECTION 1 & DETAILS
A11	SECTION 2 & DETAILS
A12	SECTION 3 & DETAILS
D	CONSTRUCTION DETAILS

5500 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323 8873

DRAWN JS SEPTEMBER 4, 2024 BP

3717 LINCOLN AVENUE, COQUITLAM

PROJECT

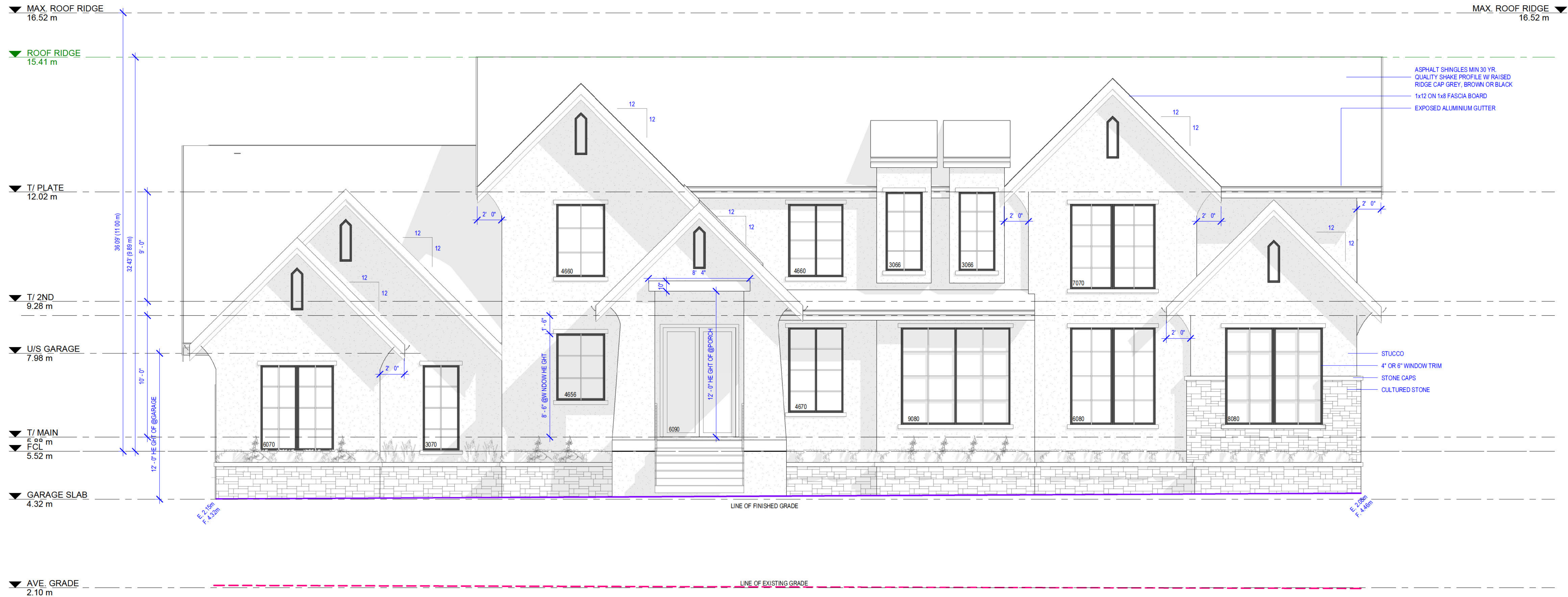
SCALE 1/8"=1'0"

KEY PLAN, SITE PLAN & NOTES

DRAWING TITLE

A1

SHEET NUMBER



FRONT (SOUTH) ELEVATION



8500 20020 84 AVENUE, LANGLEY, BC
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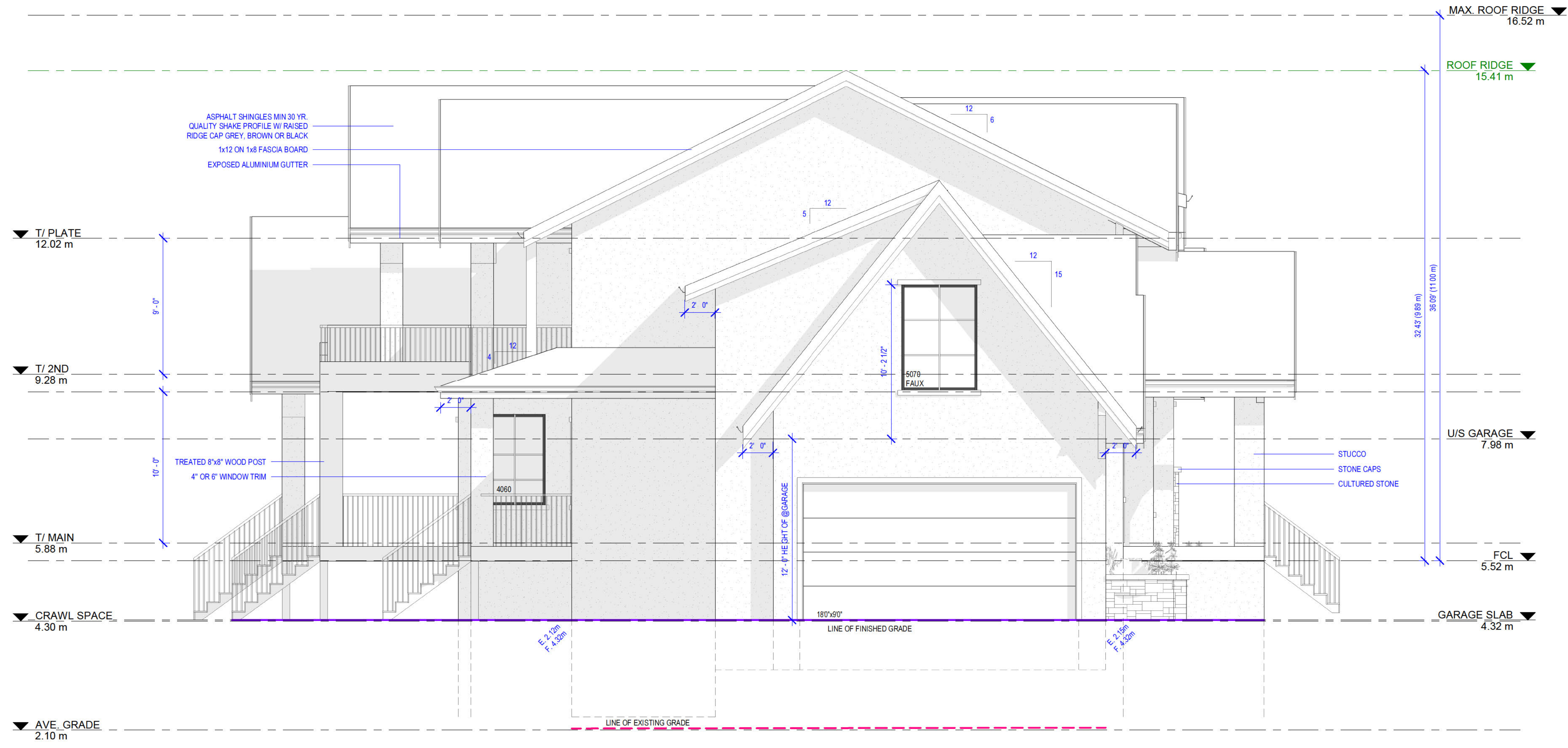
3717 LINCOLN AVENUE,
COQUITLAM

PROJECT
SCALE 1/4"=1' 0"

FRONT (SOUTH)
ELEVATION

DRAWING TITLE

A2
SHEET NUMBER



LEFT (WEST) ELEVATION

JOSS
 8500 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323 8873

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3717 LINCOLN AVENUE,
 COQUITLAM

PROJECT

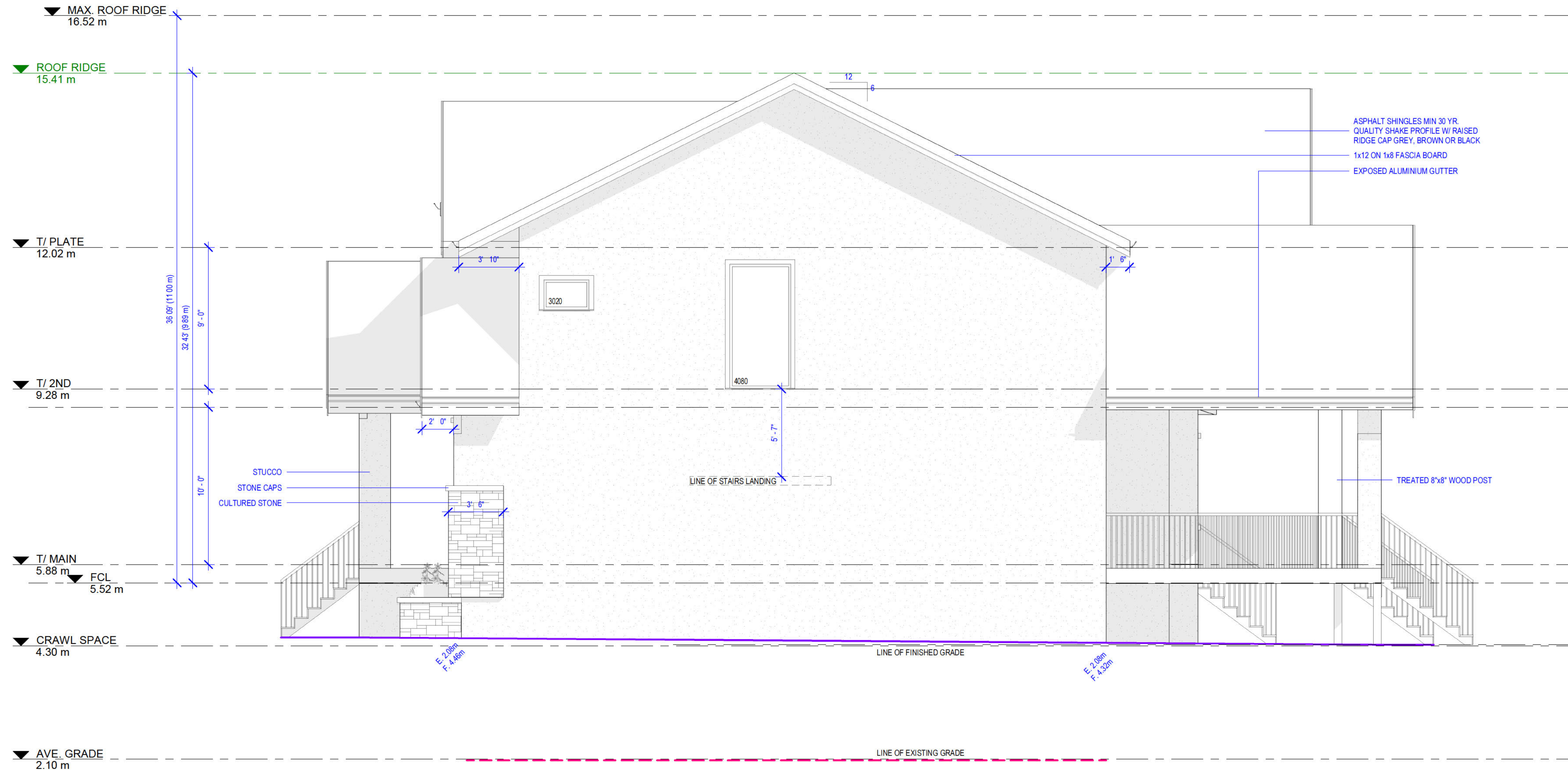
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**LEFT (WEST)
 ELEVATION**

DRAWING TITLE

A3

SHEET NUMBER



RIGHT (EAST) ELEVATION



8500 20020 84 AVENUE, LANGLEY, BC
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DRAWN JS SEPTEMBER 4, 2024 BP

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COQUITLAM

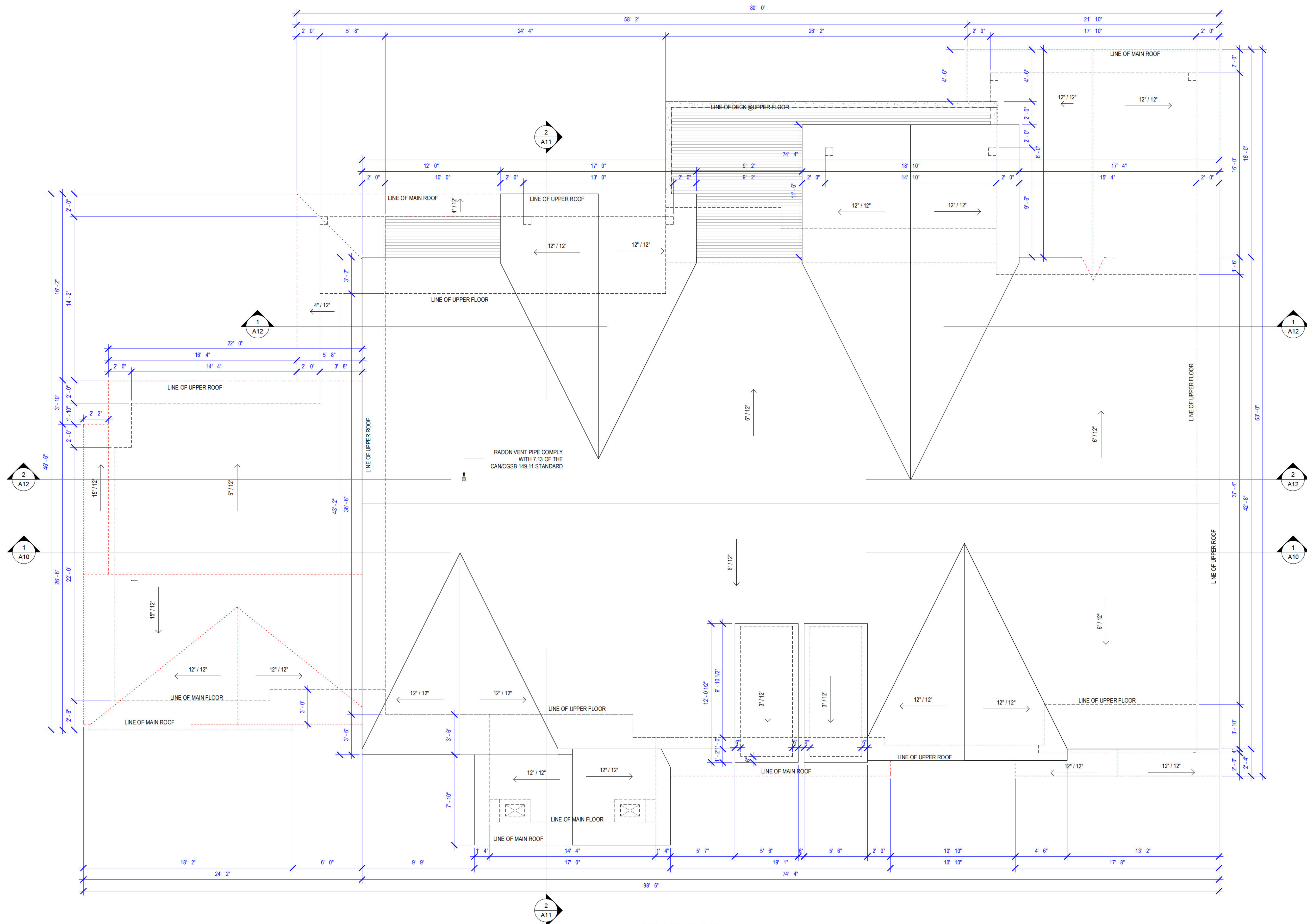
PROJECT

SCALE 1/4"=1' 0"

RIGHT (EAST)
ELEVATION

DRAWING TITLE

A5
SHEET NUMBER



ROOF PLAN

JOSS
 8500 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323 8873

DRAWN JS SEPTEMBER 4, 2024 BP

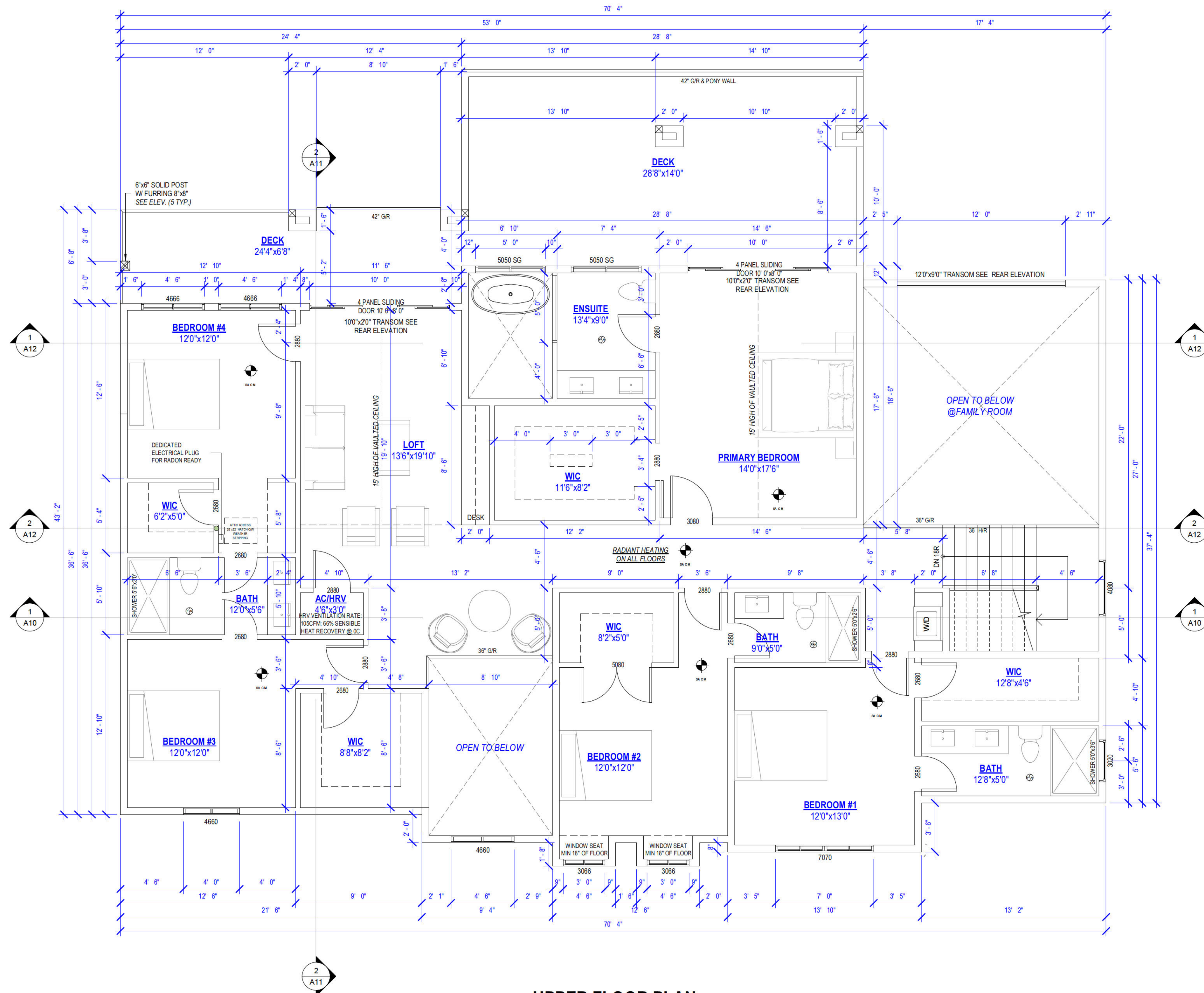
3717 LINCOLN AVENUE, COQUITLAM

PROJECT
 SCALE 1/4"=1' 0"

ROOF PLAN

DRAWING TITLE
A6

SHEET NUMBER



UPPER FLOOR PLAN

UPPER FLOOR AREA = 2246.25 SF
 - STAIRS AREA = 99.18 SF
 - DECK AREA = 563.58 SF



8500 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323 8873

DRAWN JS SEPTEMBER 4, 2024 BP

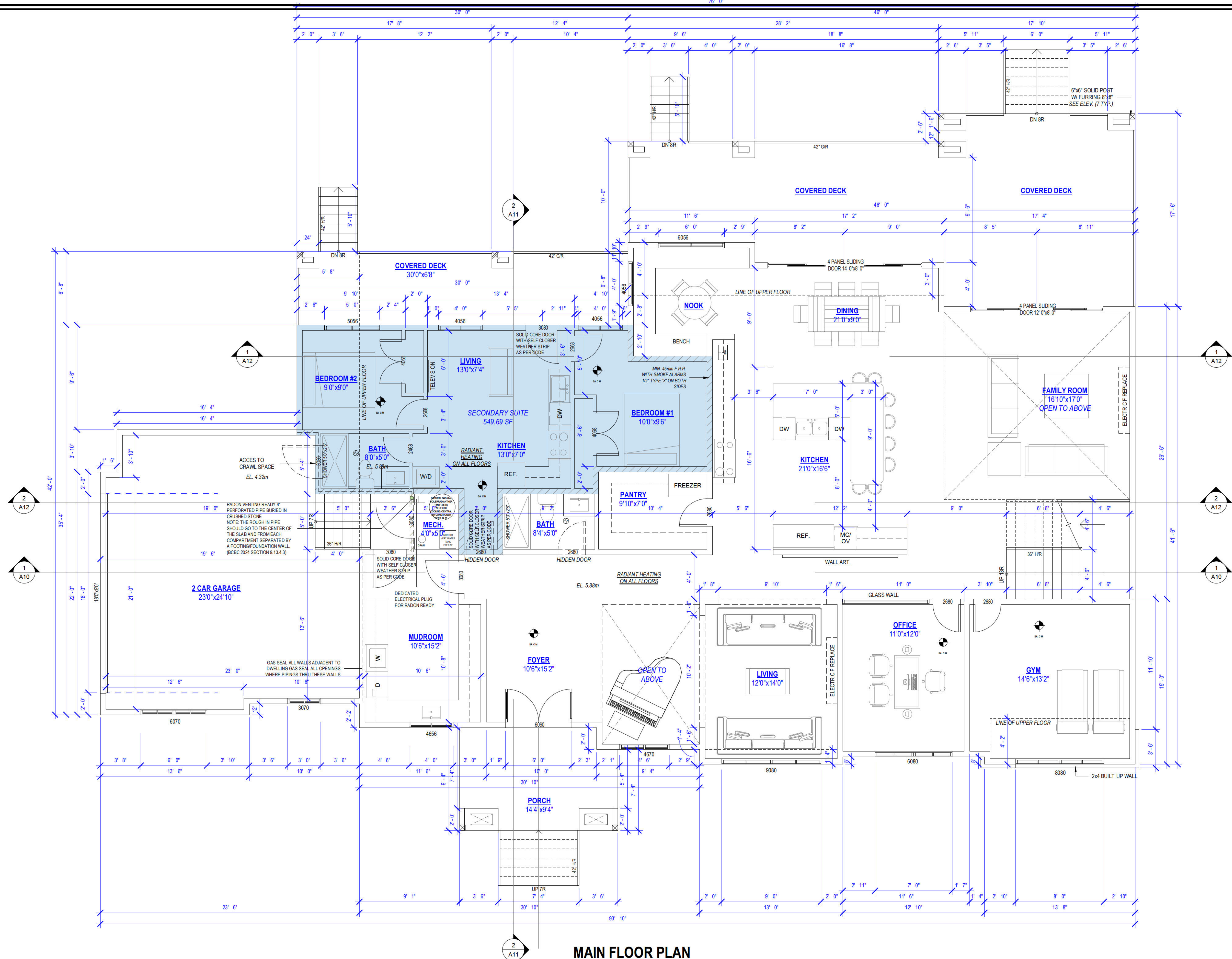
3717 LINCOLN AVENUE,
 COQUITLAM

PROJECT
 SCALE 1/4"=1' 0"

UPPER FLOOR PLAN

DRAWING TITLE

A7
 SHEET NUMBER



MAIN FLOOR PLAN

MAIN FLOOR AREA = 2976.86 SF
 GARAGE AREA = 589.67 SF
 - INCL' SECONDARY SUITE AREA = 549.69 SF
 - COVERED DECK AREA = 801.60 SF
 - PORCH AREA = 131.44 SF

JOSS
 8500 20020 84 AVENUE, LANGLEY, BC
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 TEL: 778 323 8873

DRAWN JS SEPTEMBER 4, 2024 BP

3717 LINCOLN AVENUE,
 COQUITLAM

PROJECT

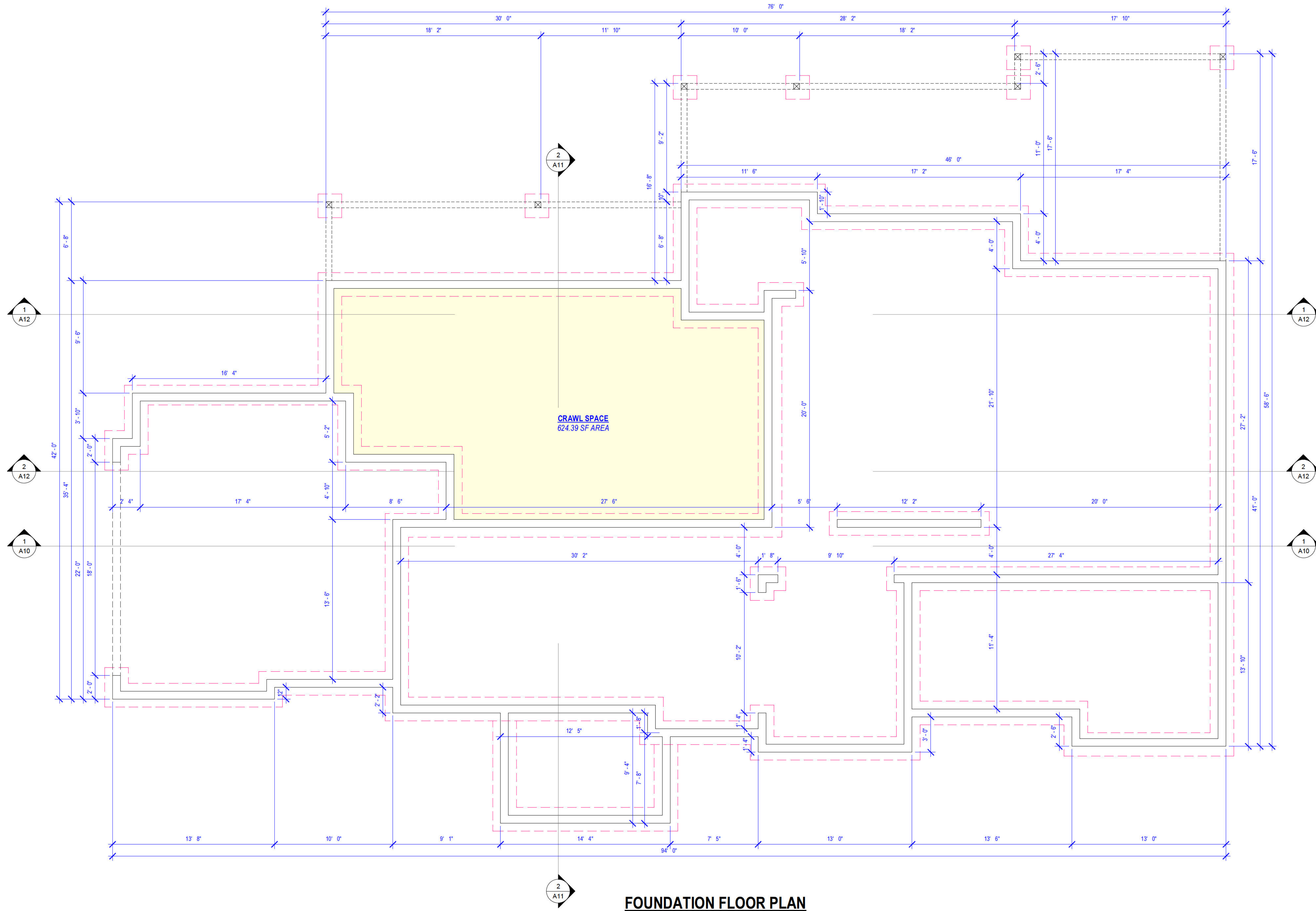
SCALE 1/4"=1' 0"

MAIN FLOOR PLAN

DRAWING TITLE

A8

SHEET NUMBER



8500 20020 84 AVENUE, LANGLEY, BC
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TEL: 778 323 8873

DRAWN JS SEPTEMBER 4, 2024 BP

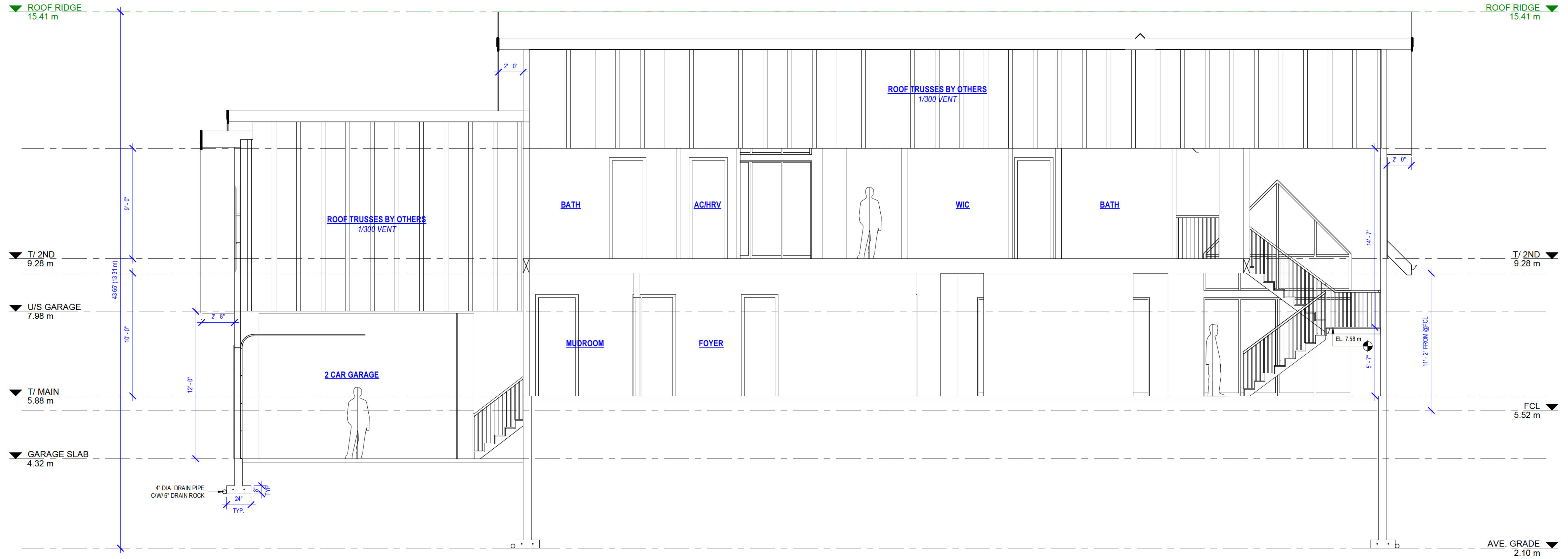
3717 LINCOLN AVENUE,
COQUITLAM

PROJECT
SCALE 1/4"=1' 0"

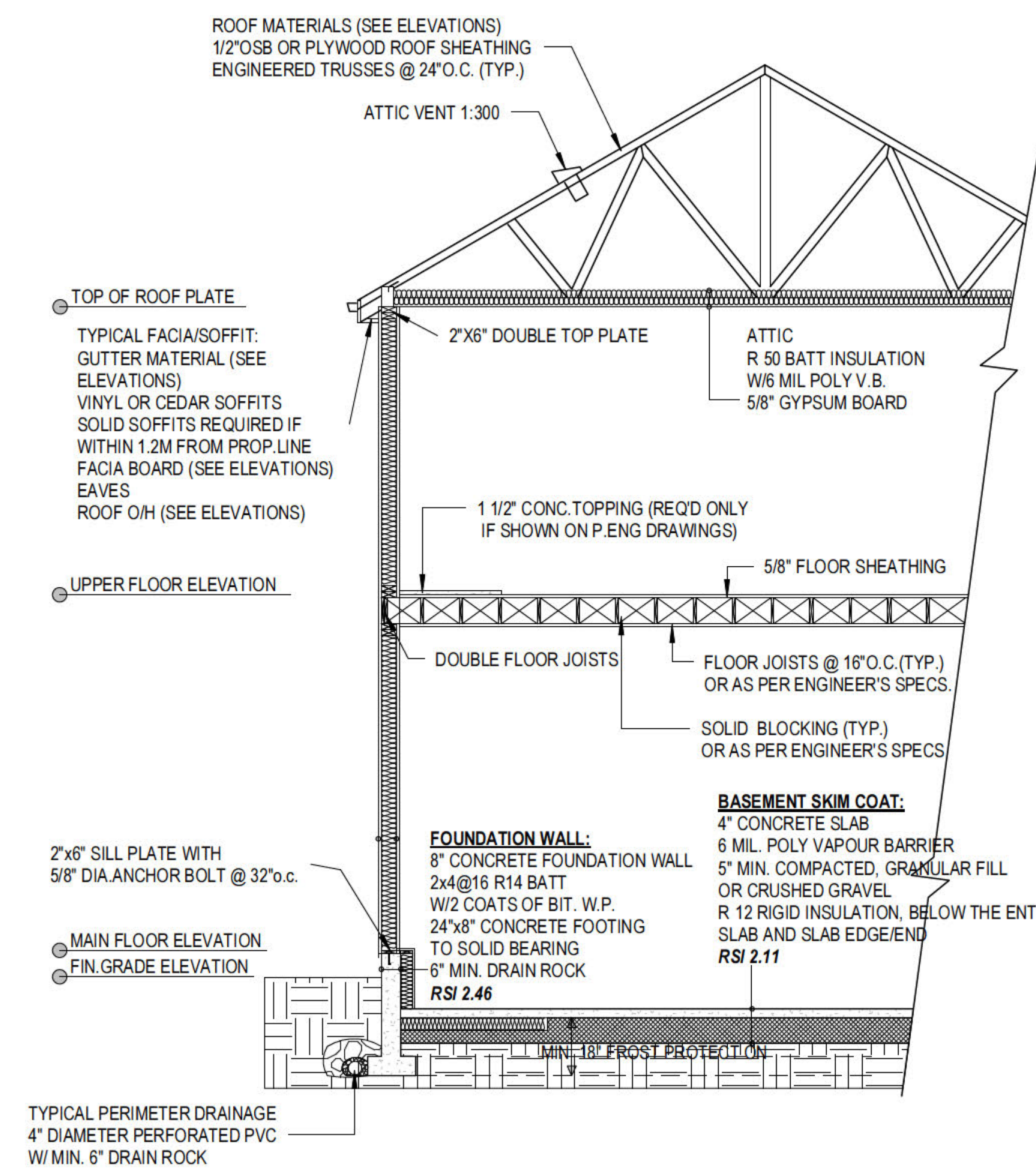
FOUNDATION FLOOR
PLAN

DRAWING TITLE

A9
SHEET NUMBER



SECTION 1



TYPICAL WALL CROSS-SECTION

CROSS SECTION LAYOUT : STEP CODE 2

TYPICAL ROOF :
SEE ELEVATION
ENGINEERED PREFABRICATED TRUSSES @24\"/>

FLAT / DECK ROOF :
T/J TRUSS @16\"/>

FLOOR OVER UNHEATED SPACE :
11-7/8\"/>

TYPICAL EXTERIOR WALL :
SEE ELEVATION
BUILDING PAPER
3/8\"/>

RIM JOIST / FLOOR HEADERS :
RIM JOIST, R24 BATT, RAIN SCREEN
RSI 4.23

TYPICAL INTERIOR WALL :
2 X 4 STUDS @ 16\"/>

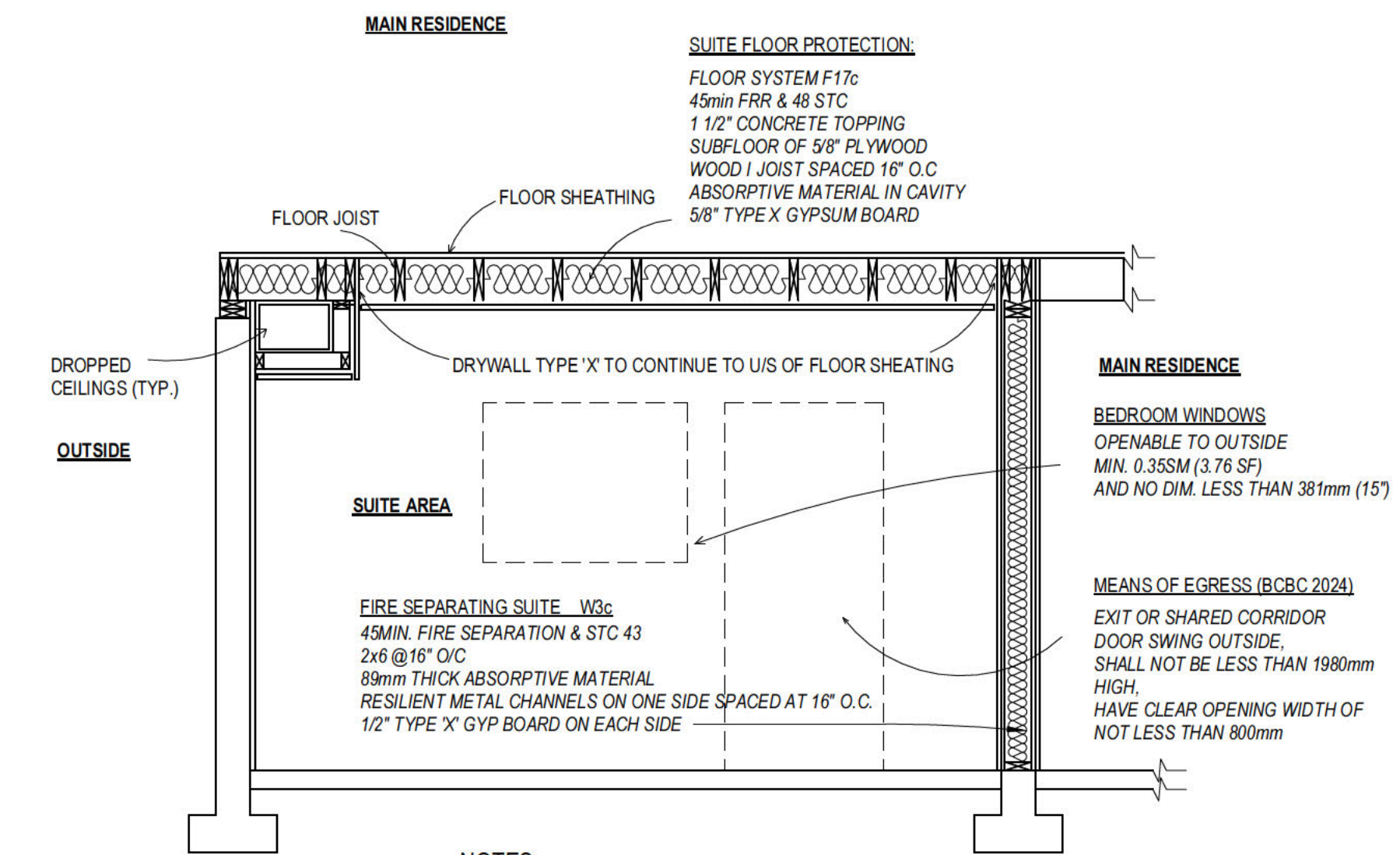
TYPICAL FLOOR :
5/8\"/>

TYPICAL FACIAS/OFFIT :
SEE ELEVATION
ALUMINUM SOFFIT
2X10 FACIA BOARD

EAVES :
MIN. 18\"/>

TYPICAL DECK :
WATERPROOF MEMBRANE ON 5/8\"/>

NOTE :
WINDOWS : DOUBLE GLAZE, CASEMENT, LOW-E ARGON GAS US1 1.40 SHGC 0.25
DOORS : FIBERGLASS, FOAM CORE, U1.8 OR LOWER



CROSS SECTION
TYP. SECONDARY SUITE

NOTES :

- FIRE STOP ALL PLUMBING SERVICES PENETRATING THROUGH FIRE SEPARATIONS
- MAIN ELEC PANEL IN DWELLING UNIT WITH SUB PANEL IN SEC. SUITE
- ELEC. SUB PANEL IS NOT PERMITTED IN REQ'D RATED FIRE SEPARATIONS
- CARBON MONOXIDE DETECTORS AND WARD WIRED PHOTO ELEC. SMOKE ALARMS (ALL INTERCONNECTED)
- AN ADDITIONAL SMOKE ALARM OF PHOTO ELEC. TYP. CONFORMING TO CANULC-SA531
- "STANDARD OF SMOKE ALARMS" SHALL BE INSTALLED IN EACH SUITE

JOSS
5500 20020 84 AVENUE, LANGLEY, BC
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TEL : 778 323 8873

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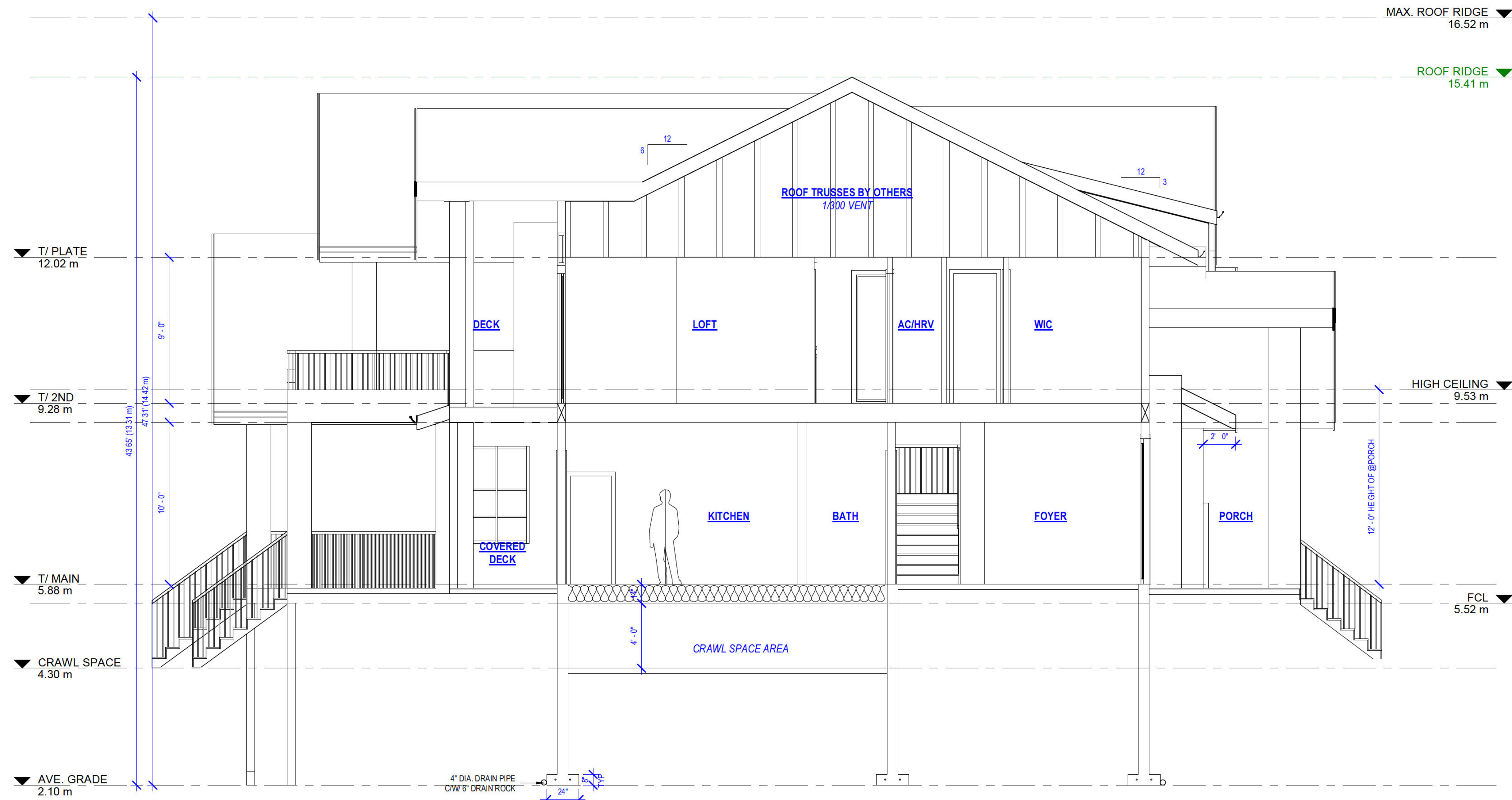
3717 LINCOLN AVENUE, COQUITLAM

PROJECT
SCALE 1/4"=1' 0"

SECTION 1 & DETAILS

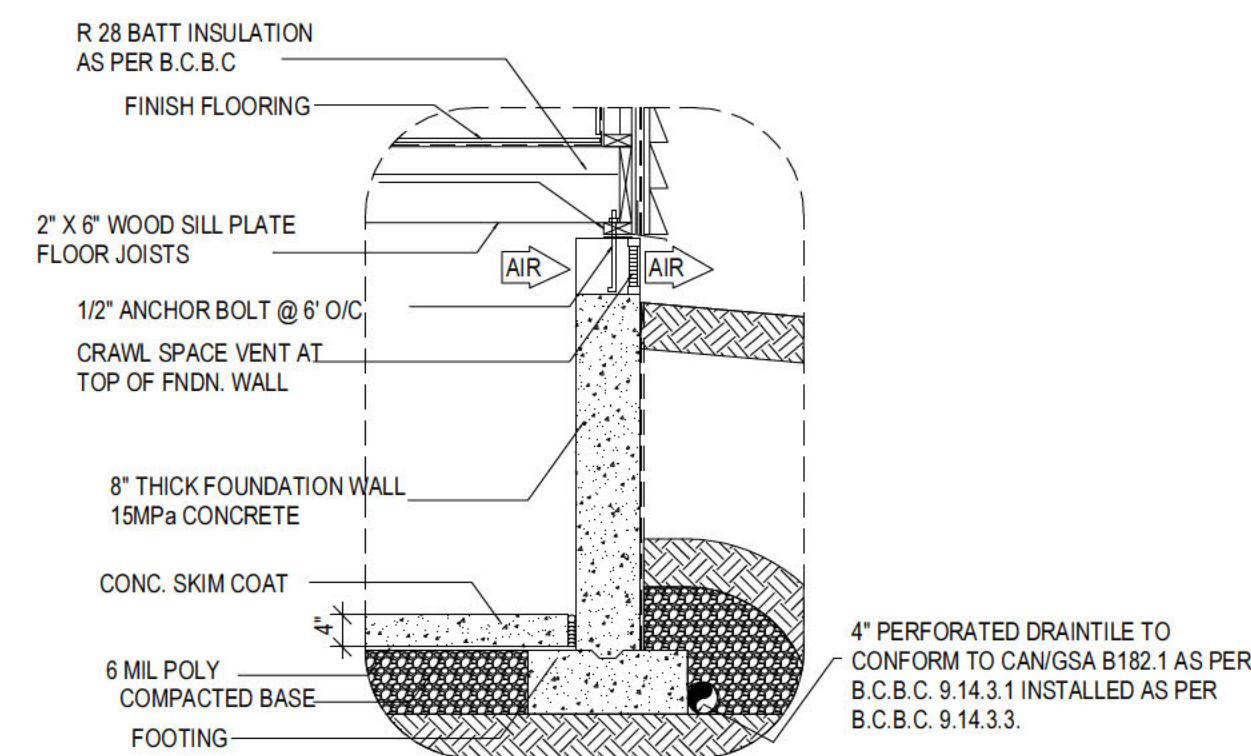
DRAWING TITLE
A10

SHEET NUMBER

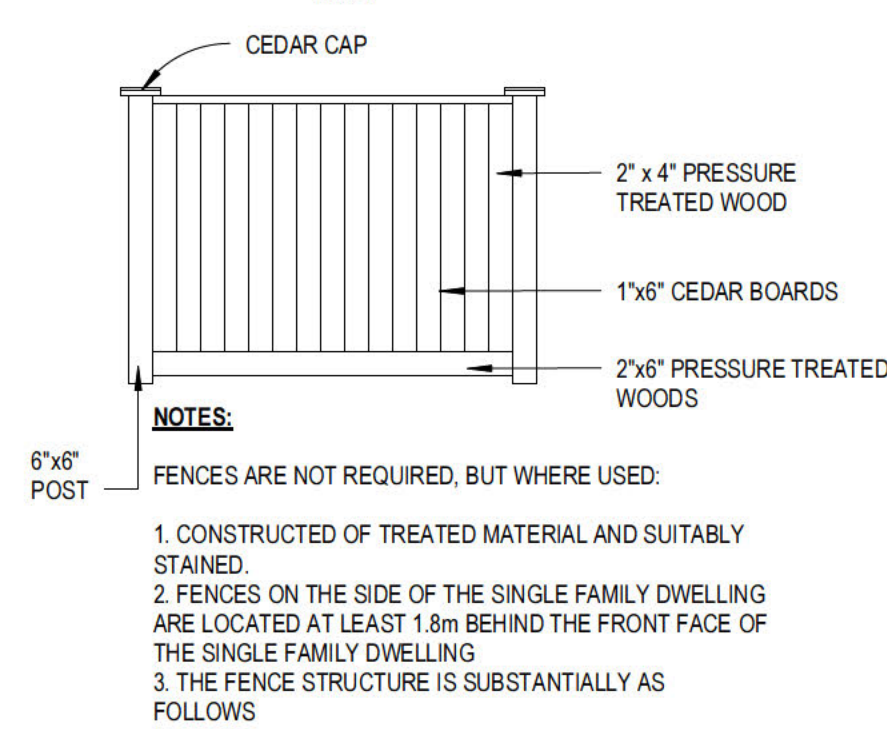


SECTION 2

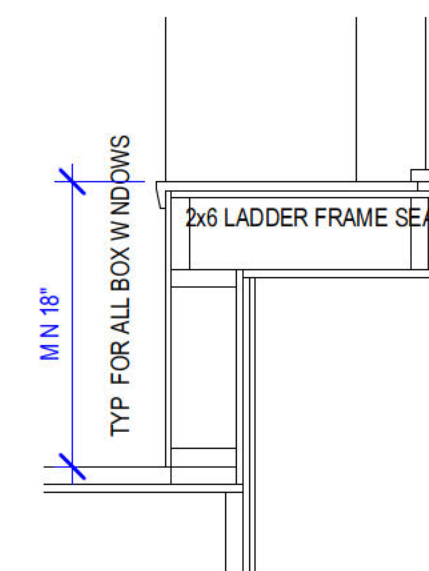
CRAWL SPACE DETAIL (N.T.S.)



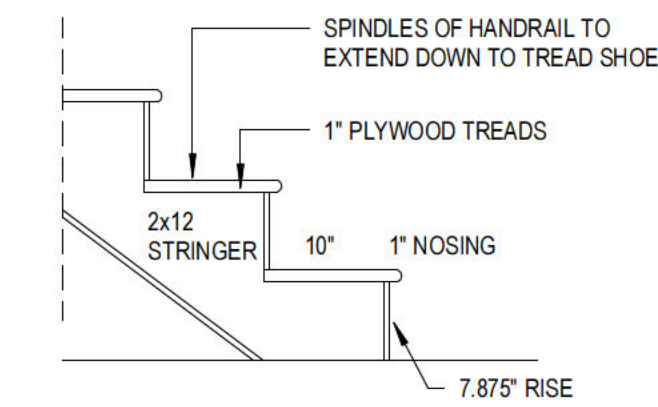
FENCE DETAIL (N.T.S.)



BOX WINDOW DETAIL (N.T.S.)



STAIR DETAIL (N.T.S.)



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COQUITLAM

PROJECT

SCALE 1/4"=1' 0"

SECTION 2 & DETAILS

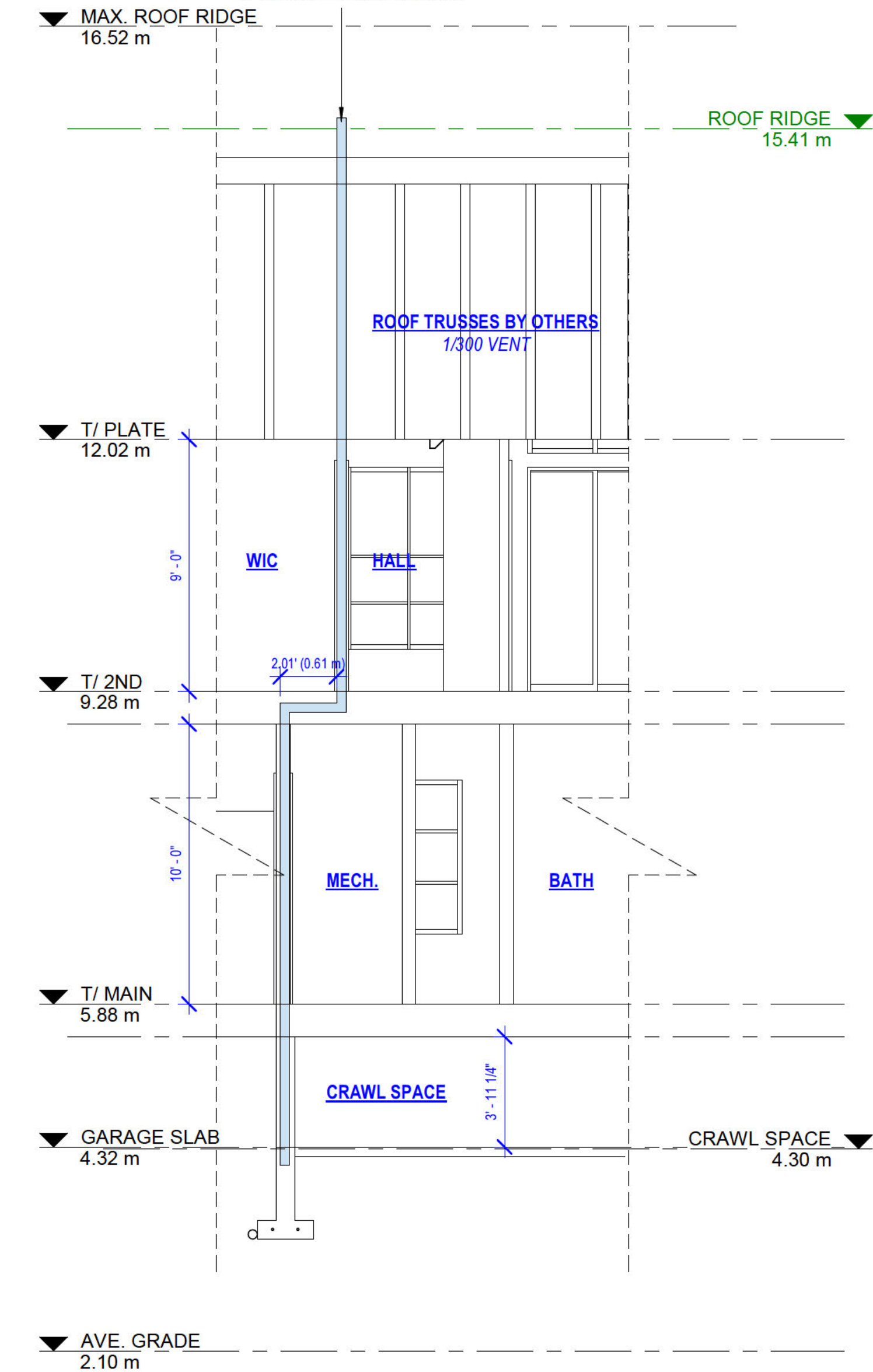
DRAWING TITLE

A11

SHEET NUMBER

NOTE : DRAINAGE LAYER REQUIRED AS PER BC. 9.16.2.1. ALLOWS FOR THE EFFECTIVE DEPRESSURIZATION OF THAT SPACE. SEAL AIR BARRIER SYSTEM TO RADON VENT PIPE.

RADON VENT PIPE COMPLY WITH 7.13 OF THE CAN/CSG 149.11 STANDARD



SECTION 3

SECTION 4

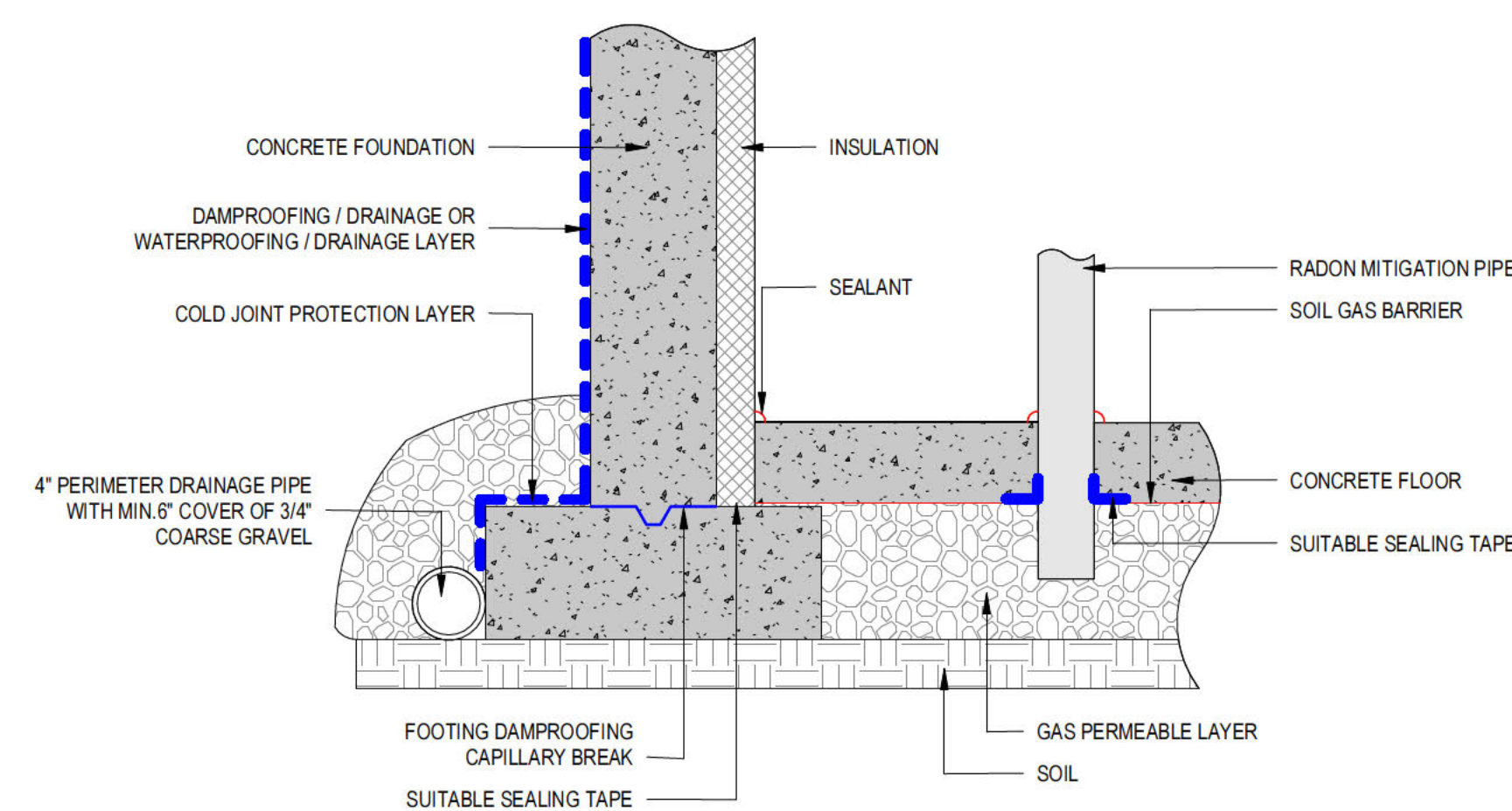


FIGURE 7.1.4.5.7 SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND FLOOR SLAB

RADON CONTROL DETAIL

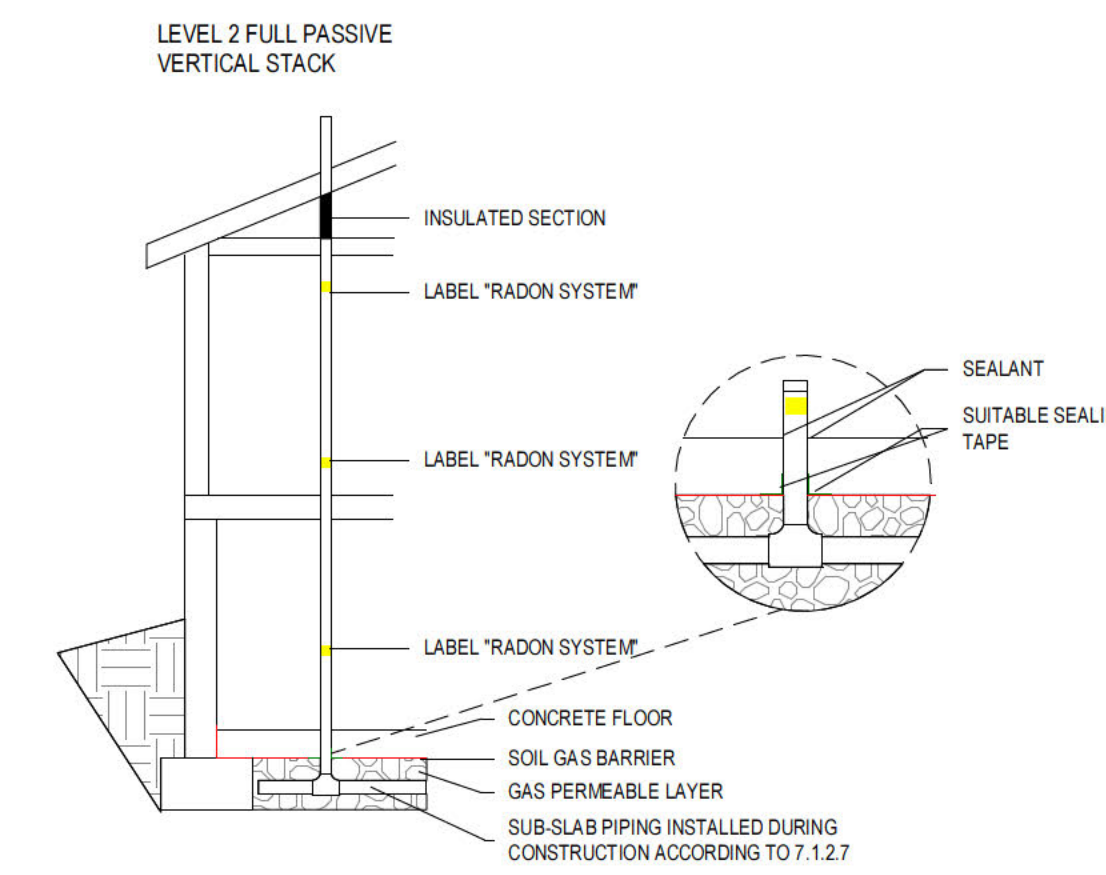


FIGURE 7.2b- LEVEL 2 - FULL PASSIVE RADON STACK

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 SECTION 3 & DETAILS
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 SHEET NUMBER
 A12

