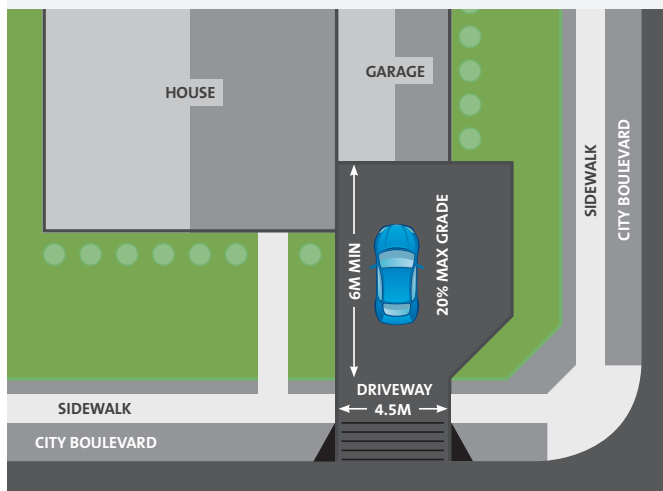
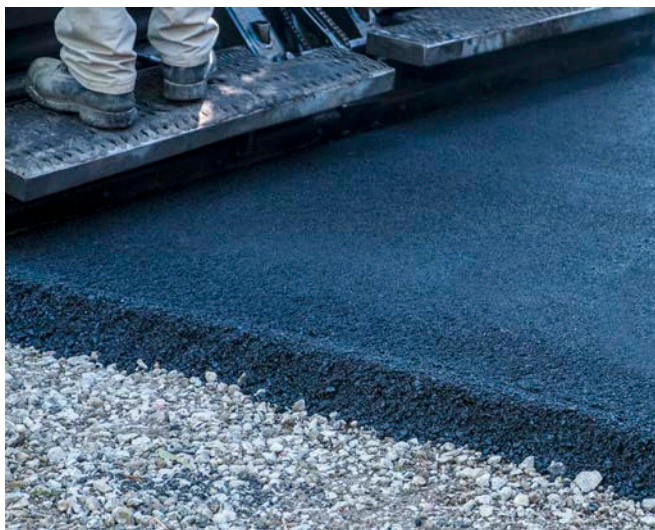


DRIVEWAY ACCESS REQUIREMENTS



- There should only be one driveway between the property and a residential street to minimize conflicts with road users.
- Access shall generally be taken from the lowest hierarchy street (i.e. lane before local, local before collector, etc.)
- The maximum grade at any point between the edge of the road and the property line is 8% and must allow for a sidewalk with a maximum cross grade of 2%.
- Boulevard crossings shall be flared 1.2m between the sidewalk and curb.
- The driveway should only be 4.5m wide where it crosses the property line, to maximize on-street parking and minimize conflicts but may be wider on the private side of the property.
- The driveway should lead to a garage or carport.
- The distance between the garage and/or carport to property line must be at least 6.0m to ensure a vehicle can park on the driveway and not block the sidewalk.
- Driveway crossings for corner lots should be located a minimum of 10.0m from the adjacent street.

THE ACCESS PERMIT APPLICATION PROCESS ALLOWS PROPERTY OWNERS TO APPLY TO CONSTRUCT A NEW OR MODIFY AN EXISTING DRIVEWAY ACCESS SO RESIDENTS CAN PARK ON THEIR OWN PROPERTY.



Contact Us

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Engineering & Public Works Customer Service



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coquitlam.ca/driveways

    CityofCoquitlam

JULY 2016

Coquitlam

CITY OF COQUITLAM RESIDENTIAL DRIVEWAY INSTALLATION



DRIVEWAY ACCESS FREQUENTLY ASKED QUESTIONS

WHAT IS A DRIVEWAY ACCESS?

“Driveway access” means the area between the roadway or street and required parking spaces which provide an approach to the parking spaces (Zoning Bylaw - Part 2 Interpretation).

WHAT IS REQUIRED TO INSTALL A NEW OR MODIFY AN EXISTING DRIVEWAY ACCESS?

All property owners who wish to install or modify an existing driveway access which is not part of a subdivision or development servicing process must complete an “Access Permit Application”.

WHERE DO I GO TO GET AN ACCESS PERMIT APPLICATION?

Access Permit Application form is now available on-line: coquitlam.ca/drivewayaccess You can also obtain this application form at the Engineering and Public Works Department which is located on the ground floor of Coquitlam City Hall – 3000 Guildford Way 604-927-3500 or email at epw@coquitlam.ca

WHAT IS THE FEE FOR SUBMITTING AN ACCESS PERMIT APPLICATION?

There is no fee for submitting an access permit application.

WHAT IS THE STANDARD WIDTH OF A DRIVEWAY CROSSINGS?

The standard width is 4.5m. In special circumstances, the manager may approve a maximum width of up to 6.0m (See details in Section 6.03 Driveway Crossings of the City of Coquitlam Subdivision and Development Servicing Bylaw No. 3558, 2003). coquitlam.ca/bylaws



HOW STEEP CAN MY DRIVEWAY BE?

The maximum grade at any point between the garage and the property line is 20%. The maximum grade at any point between the edge of the road and the property line is 8% and must allow for a sidewalk with a maximum cross grade of 2%.

WHAT ARE THE DRIVEWAY ACCESS SPECIFICATIONS FOR CORNER LOTS?

Driveway access for corner lots shall be located a minimum of 10.0m from the adjacent street (See details in Section 6.03 Driveway Crossings of the City of Coquitlam Subdivision and Development Servicing Bylaw No. 3558, 2003).

CAN I REMOVE A CITY TREE TO INSTALL A DRIVEWAY?

The access permit applications will be forwarded to the City of Coquitlam arborist to determine if a tree(s) can be removed and if there are any costs or conditions.

CAN I BUILD MY DRIVEWAY NEAR A FIRE HYDRANT/ STREET LIGHT/UTILITY POLE?

Driveways should not be built within 3.0m of a fire hydrant, 2.0m of street light and 1.0m utility pole.

WHAT CHANGES ARE REQUIRED TO THE CONCRETE CURB, GUTTER AND SIDEWALK TO ACCOMMODATE A NEW DRIVEWAY ACCESS?

Modifications to the existing curb/gutter and sidewalk will have to be made to accommodate the new access in accordance with current City specifications. The City will provide a cost estimate for the necessary works. The owner can then choose to have the City complete the works or hire their own contractor, noting there are specific requirements to be followed with this option.



WHAT IF I HAVE A DITCH WHERE THE DRIVEWAY WILL BE INSTALLED?

If the Engineering Inspector approves the location of the new driveway access, the City will provide a cost estimate for the installation of a culvert to accommodate the new access. The owner can then choose to have the City complete the works or hire their own contractor, noting there are specific requirements to be followed with this option.

HOW WILL I KNOW IF MY APPLICATION HAS BEEN APPROVED?

After the Engineering Inspector has attended the site and approved or rejected the driveway access application, a staff member from Engineering Customer Service will e-mail or call you to advise the status of the application and advise if the application was approved and if there are any charges associated with the new driveway location.

ARE THERE LOCATIONS WHERE A DRIVEWAY WILL NOT BE APPROVED?

- Access shall generally be taken from the lowest hierarchy street (i.e. lane before local, local before collector, etc.)
- No driveways will be permitted from arterial streets where there is reasonable access from a rear lane or side street.
- The General Manager Engineering may permit exceptions to the above in special circumstances.
- Driveways are also not permitted within 10.0m of an adjacent street.