



## Heritage Case Study - 311 Laval Square



### *Heritage Value*

Located at 311 Laval Square, the 1913 Bédard Residence sits prominently on a corner lot across the street from the Notre Dame de Lourdes Church, a designated heritage site. The house is a two-storey cross-gabled residence with unique parallel gables on the side elevations. The house was originally built for Palma Bédard, a machinist who arrived in Maillardville with his wife in 1910.

### *Heritage Revitalization Agreement Process*

The redevelopment includes the restoration of the historic Bédard Residence to reflect its original appearance as well as the construction of six additional townhouse units on the remainder of the site. The Bédard Residence will contain two units, a second building in the middle of the site will contain two units and the third building at the north end of the site will have four units. The unit mix will include 6 three-bedroom units and 2 two-bedroom units and create an overall density of 0.8 FAR on the site.

The architectural design features of the new development are sympathetic to the historic building and all exterior building and landscaping materials are reflective of the heritage character of the site and neighbourhood.

### *Bédard Residence Restoration*

The Heritage Revitalization Agreement has been prepared using the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (2004). The restoration of the Bédard Residence involves restoring remaining architectural features including: principle roof line; form scale and massing of the south and west elevations; the entire verandah; five dormers including the original octagonal shakes; and original siding where salvageable beneath the newer stucco. The missing heritage architectural elements will be replicated by a professional heritage craftsman. The entire house will be painted in its original heritage colour scheme.

For more information please contact:

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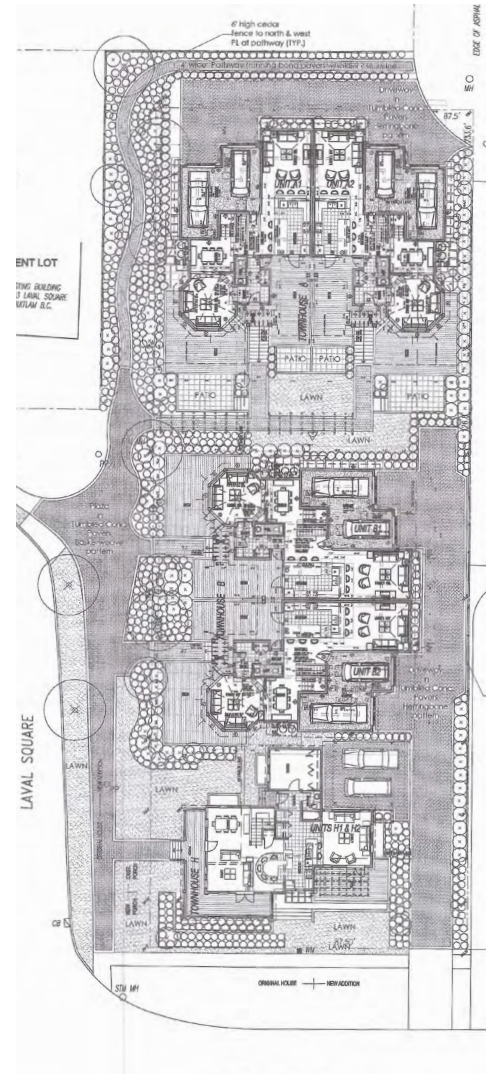
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Development Proposal - Zoning Comparison

	Previous RM-1 - Low Density apartment Zone	Heritage Revitalization Agreement 311 Laval Square
<b>Zoning</b>	RM-1	HRA
<b>Number of Units</b>	Four (4)	Eight (8)
<b>Lot Size</b>	Min. 1,110 m <sup>2</sup>	1,898 m <sup>2</sup>
<b>Gross Floor Area</b>	Max. 0.45 FAR (965.37 m <sup>2</sup> )	0.80 FAR (1518.8 m <sup>2</sup> )
<b>Lot Coverage</b>	Max. 30%	38.3%
<b>Setbacks: Heritage Building</b>		
Front (Laval Square)	Min. 7.6 m	2.76 m
Exterior Side (Cartier Street)	Min. 7.6 m	2.51 m
Interior Side (east)	Min. 7.6 m	8.00 m
<b>Setbacks: Building A</b>		
Front (Hachey Avenue)	Min. 7.6 m	4.31 m
Exterior side (West Lane)	Min. 7.6 m	1.11 m
Interior Side (east)	Min. 7.6 m	1.37 m
<b>Setbacks: Building B</b>		
Front (Laval Square)	Min. 7.6 m	1.70 m
Rear (east)	Min. 7.6 m	5.33 m
<b>Building Height</b>	Max. 2 storeys	2 storeys plus walk out basement



Site Plan